

COST SUMMARY

Date:
Project: Hidden For Privacy
Project Location: Hidden For Privacy

Project Type:
Scope of Work: Masonary
Total Base Bid: \$ 483,453

BASE BID /ALTERNATES/ALLOWANCES	TOTAL COSTS
Base bid	\$ 483,453
Note: Click on any of the above text to go to the relevant Tab	

CSI Summary for Base Bid					
Div. No.	CSI Division	Labor Cost	Material Cost	Total Cost	% of sub-total cost
DIV-01	General Requirements	\$ -	\$ -	\$ 36,100	10.6%
DIV-04	Masonry	\$ 200,960	\$ 80,198	\$ 303,158	89.4%
SUB TOTAL		\$ 200,960	\$ 80,198	\$ 339,258	
MATERIAL TAX			\$ 8,020	\$ 8,020	10.0%
OVERHEAD AND PROFIT				\$ 67,852	20.0%
OVERHEAD AND PROFIT				\$ 13,570	4.0%
BOND FEE				\$ 14,530	3.5%
TOTAL BASE BID				\$ 443,229	

For Client's Use Only	
Comparison with Sub-Quotes	
Enter Sub-Quotes here	Difference
	\$ 36,100
	\$ 303,158
	\$ 339,258
	\$ 8,020
	\$ 67,852
	\$ 13,570
	\$ 14,530
	\$ 443,229

Comments

ITEM #	REF. SHEET	DETAIL	CSI SECT	DESCRIPTION	QTY.	WASTAGE	QTY WITH WASTAGE	UNIT	UNIT LABOR HOURS	TOTAL LABOR HOURS	PER HOUR LABOR RATE	TOTAL LABOR COST	UNIT MATERIAL COST	TOTAL MATERIAL COST	ITEM COST	TRADE COST
Estimate of Materials and Cost of Construction																
CLICK HERE TO GO BACK TO COST SUMMARY																
Sub-Total \$ 361,281 Material Tax & Inflation 15.0% \$ 14,788 (Adjust the percentage for Material tax as required) Overhead & Profit 20% \$ 72,256 (Adjust the percentage for Overhead & Profit as required) Contingency 5% \$ 19,437 (Adjust the percentage for Contingency as required) Bond Fee 3.5% \$ 15,691 (Adjust the percentage for Bond Fee as required) Total Base Bid \$ 483,453 Material Wastage 1 0% (for Quantities in Each & LS) Material Wastage 2 10% (for Quantities in LF, SF, SY, CY, LBS, TONS) Date: Project: Hidden For Privacy Project Location: Hidden For Privacy Project Type: Private/ Public Contractor Name: Company Name: Client Email: Website: Cell: Note: Contractor can add or Remove Allownces from DIV-1 Tab According to his Requirements Gross Building Area33148 SF																
ITEM #	REF. SHEET	DETAIL	CSI SECT	DESCRIPTION	QTY.	WASTAGE	QTY WITH WASTAGE	UNIT	UNIT LABOR HOURS	TOTAL LABOR HOURS	PER HOUR LABOR RATE	TOTAL LABOR COST	UNIT MATERIAL COST	TOTAL MATERIAL COST	ITEM COST	TRADE COST
			DIV-01	General Requirements												\$36,100
				Plan Design and Permitting												
1			DIV-01	Permit Fee	1	0%	1	LS		-		\$-				
2			DIV-01	Plan Coordination	1	0%	1	LS		-		\$-				
				Utilities & Temporary Facilities												
3			DIV-01	Port-a-Potty	1	0%	1	LS		-		\$-				
4			DIV-01	Temporary Power	1	0%	1	LS		-		\$-				
				Equipment and Tools												
5			DIV-01	Tool Rentals	1	0%	1	LS		-		\$-			\$2,500	
6			DIV-01	Mobilization/Demobilization (Temporary Control & Facilities)	1	0%	1	LS		-		\$-			\$7,200	
				Cleaning and Final												
7			DIV-01	Trash	1	0%	1	LS		-		\$-			\$1,500	
8			DIV-01	Final Cleaning	1	0%	1	LS		-		\$-			\$5,600	
				Bonds, Insurance, Legal												
9			DIV-01	Casualty Insurance	1	0%	1	LS		-		\$-			\$2,500	
10			DIV-01	Medical Insurance	1	0%	1	LS		-		\$-			\$1,800	
11			DIV-01	General Liability Insurance	1	0%	1	LS		-		\$-			\$-	
				Project Management & Supervision												
12			DIV-01	Project Management & Supervision	1	0%	1	LS				\$-			\$15,000	
			DIV-04	Masonry												\$325,181
				CMU Wall @ Elevator (55'0" H)	38			LF								
13	A-102	S102	DIV-04	8" CMU Wall	1,961	10%	2,157	SF	0.095	204.96	\$131.0	\$26,850	\$3.3	\$7,162.9	\$34,013	
14	A-102	S102	DIV-04	8" CMU Bond Beam	38	10%	42	LF	0.120	5.02	\$131.0	\$657	\$7.5	\$314.3	\$971	
15	A-102	S102	DIV-04	#5 Bar @ 24" O.C Each Way	2,070	10%	2,277	LBS	0.010	22.77	\$131.0	\$2,983	\$1.0	\$2,231.8	\$5,215	
				3-5/8" CMU Wall @ Exterior (8'0" H)	326			LF								
				CMU-1												
16	A-201 & A202	A-201 & A202	DIV-04	3-5/8" Ground Face CMU Manufacturer: Jandris & Sons Color: 9312 Mortar Color : TBD Texture :Ground Face	655	10%	720	SF	0.107	77.07	\$131.0	\$10,096	\$7.7	\$5,510.2	\$15,607	
				CMU-2												
17	A-201 & A202	A-201 & A202	DIV-04	3-5/8" Split Face CMU Manufacturer: jandris & Sons Color: W-9312 Mortar Color: TBD Texture:Split Face CMU	1,220	10%	1,342	SF	0.107	143.58	\$131.0	\$18,809	\$8.0	\$10,667.9	\$29,477	
18	A-201 & A202	A-201 & A202	DIV-04	Pre Cast Cap 1'0" x 0'4 1/8" Precast Top Course/Band W/ Integral Drip Cut MFR:Reading Rock	330	10%	363	LF	0.088	31.94	\$131.0	\$4,185	\$12.3	\$4,472.2	\$8,657	
19	A-201 & A202	A-201 & A202	DIV-04	4" CMU Lintel	108	10%	119	LF	0.085	10.10	\$131.0	\$1,323	\$5.2	\$617.8	\$1,941	
				Brick Vneer												
20	A-201 & A202	A-201 & A202	DIV-04	BRK-1: Brick Color:Copperstone Mortar Color :TBD Texture: Matte	5,554	10%	6,109	SF	0.120	733.13	\$131.0	\$96,040	\$6.1	\$36,962.1	\$133,002	
21	A-201 & A202	3/A401	DIV-04	BRK-1 (Brick Detailing above Or Below Windows) Color:Copperstone Mortar Color :TBD Texture: Matte	1,827	10%	2,010	SF	0.152	305.47	\$131.0	\$40,016	\$6.1	\$12,258.9	\$52,275	
22				Thermally Broken Masonary Vneer Ties @ 16" O.C	5,550	0%	5,550	EA	0.005	27.75	\$131.0	\$3,635	\$3.3	\$18,388.3	\$22,023	

ITEM #	REF. SHEET	DETAIL	CSI SECT	DESCRIPTION	QTY.	WASTAGE	QTY WITH WASTAGE	UNIT	UNIT LABOR HOURS	TOTAL LABOR HOURS	PER HOUR LABOR RATE	TOTAL LABOR COST	UNIT MATERIAL COST	TOTAL MATERIAL COST	ITEM COST	TRADE COST
				Allowances												
23	General	General	DIV-04	Allowances for Lull(7381 SF Brick)(Wall Height 11' to 55') (Rate:\$6000 Per Month)	1	0%	1	LS		-		\$ -		\$ -	\$ 6,000	
24	General	General	DIV-04	Allowances For Crane(7381 SF Brick)(Wall Height 55') (\$1200 Per Half Day)	1	0%	1	LS		-		\$ -		\$ -	\$ 16,000	
SUB TOTAL										Total Lab. Hours =	\$ 1,562	Total Lab. Cost =	\$ 204,595	Total Mat. Cost =	\$ 98,586	\$ 361,281
Total Base Bid																\$ 361,281

Concept Estimating LLC

521-523 CAMBRIDGE STREET

BOSTON, MA

12/05/2023

ISSUED FOR CONSTRUCTION

ARCHITECT
EMBARC

580 HARRISON AVE, SUITE 2W
BOSTON, MA 02118
P: 617.765.8000
www.embarcdesign.com

OWNER
FIVE TWENTY ONE FIVE TWENTY
THREE CAMBRIDGE, LLC

CONSULTANTS
CIVIL ENGINEER

LANDSCAPE ENGINEER
MCLA
840 SUMNER STREET, SUITE 201A
BOSTON, MA 02137
203.592.4788

STRUCTURAL ENGINEER
H+O STRUCTURAL ENGINEER
100 SUMNER STREET, SUITE 1600
BOSTON, MA 02118
617.938.3249

MEP/FP ENGINEER
ZADE ASSOCIATES LLC
140 BEACH ST
BOSTON, MA 02111
617.338.4436

GEOTECHNICAL ENGINEER
AARDVARK
SOMERVILLE, MA
978.450.2590

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS W/ DISABILITIES ACT
APPROX	APPROXIMATE
ARCH.	ARCHITECTURAL
AV	AUDIO VISUAL
BLDG.	BUILDING
BLKG.	BLOCKING
B.O.	BOTTOM OF
CAB	CABINET
C.H.	CEILING HEIGHT
CLK	CEILING
CL	CENTERLINE
COL	COLUMN
CONT.	CONTINUOUS
CMU	CONCRETE MASONRY UNIT
C.J.	CONTROL JOINT
DTL	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
EX.	EXISTING
EL.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
FD.	FLOOR DRAIN
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
GFC	GROUND FAULT INTERCEPTOR CIRCUIT
GSA	GALVANIZED SHEET METAL
GWB	GYPSEUM WALL BOARD
H OR HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
H.B.	HOSE BIB
HM	HOLLOW METAL
MAX.	MAXIMUM
M.O.	MASONRY OPENING
MECH	MECHANICAL
MEP	MECHANICAL ELECTRICAL PLUMBING
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.	OVER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
OPP.	OPPOSITE
P.G.	PAINT GRADE
PLYWD.	PLYWOOD
PTD.	PAINTED
R.D.	ROOF DRAIN
R.Q.D.	REQUIRED
R.O.	ROUGH OPENING
SCHED.	SCHEDULE
S.G.	STAIN GRADE
SM.	SIMILAR
S.L.D.	SEE LANDSCAPE DRAWINGS
SQ.	SQUARE
SPEC.	SPECIFICATION
S.S.D.	SEE STRUCTURAL DRAWINGS
SSTL.	STAINLESS STEEL
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SYN.	SYMMETRICAL
T.	TEMPERED
T&G	TONGUE AND GROOVE
THK.	THICK
T.O.	TOP OF
T.S.	TUBULAR STEEL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
W.	WITH
W/O	WITHOUT
WD.	WOOD
WPM.	WATERPROOFING MEMBRANE

SYMBOLS

	REFERENCE NUMBER BUILDING SECTION DRAWING SHEET
	REFERENCE NUMBER DETAIL DRAWING SHEET
	REFERENCE NUMBER DRAWING DRAWING SHEET
	REFERENCE NUMBER INTERIOR ELEVATION DRAWING SHEET
	REFERENCE NUMBER EXTERIOR ELEVATION DRAWING SHEET
	NORTH ARROW
	WINDOW TAG
	DOOR TAG
	WALL TYPE TAG
	APPLIANCE TAG
	REVISION TAG
	CENTER LINE

GENERAL REQUIREMENTS



VICINITY MAP



PROJECT DATA

PROJECT DESCRIPTION:
NEW CONSTRUCTION OF A MULTI-FAMILY RESIDENTIAL BUILDING TO INCLUDE A TOTAL OF THIRTY-THREE (33) DWELLING UNITS.
THE PROPOSED STRUCTURE IS 6 STORIES ABOVE GRADE.
USE GROUP: RESIDENTIAL/R2
CONSTRUCTION TYPE: TYPE - IIA/3A
PROJECT ADDRESS: 521-523 CAMBRIDGE STREET, BOSTON, MA 02134
PARCEL ID: 2101293000
ZONING DISTRICT: ALLSTON BRIGHTON NEIGHBORHOOD
ZONING SUBDISTRICT: 1F-3000 DISTRICT & A CC-1 DISTRICT

GENERAL	GROSS SQUARE FOOTAGE
FIRST	5,851
SECOND	5,988
THIRD	5,983
FOURTH	5,983
FIFTH	4,921
SIXTH	4,424
ROOF	0
TOTAL GSF =	33,148

SHEET INDEX

SHEET NUMBER	DRAWING TITLE	REVISION
A000	COVER SHEET	
CIVL	CIVIL PLACEHOLDER	
LANDSCAPE	LANDSCAPE	
L100	SITE MATERIALS PLAN	
ARCHITECTURAL	ARCHITECTURAL	
A000.1	AXONOMETRICS	
A000.2	SITE COORDINATION PLAN	
A001	CODE REVIEW	
A002	LIFE SAFETY PLANS	
A004	EXTERIOR WALL TYPES	
A005	METAL FRAMED PARTITION TYPES	
A006	WOOD FRAMED PARTITION TYPES	
A010	HORIZONTAL ASSEMBLY DETAILS	
A011	TYPICAL DETAILS	
A012	TYPICAL DETAILS	
A013	TYPICAL DETAILS	
A101	FLOOR PLAN - LEVEL 1	
A102	FLOOR PLAN - LEVEL 2	
A103	FLOOR PLAN - LEVEL 3	
A104	FLOOR PLAN - LEVEL 4	
A105	FLOOR PLAN - LEVEL 5	
A106	FLOOR PLAN - LEVEL 6	
A107A	ROOF PLANS	
A107B	ROOF PLANS	
A121	REFLECTED CEILING PLANS	
A122	REFLECTED CEILING PLANS	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	
A301	BUILDING SECTIONS	
A310	WALL SECTIONS	
A311	WALL SECTIONS	
A312	WALL SECTIONS	
A320	STAIR PLANS, SECTIONS, DETAILS	
A321	STAIR PLANS, SECTIONS, DETAILS	
A322	STAIR DETAILS	
A330	ELEVATOR PLANS, SECTIONS, DETAILS	
A401	SECTION DETAILS	
A402	SECTION DETAILS	
A403	SECTION DETAILS	

SHEET NUMBER	DRAWING TITLE	REVISION
A404	SECTION DETAILS	
A405	SECTION DETAILS	
A420	PLAN DETAILS	
A421	PLAN DETAILS	
A501	ENLARGED UNIT PLANS	
A502	ENLARGED UNIT PLANS	
A503	ENLARGED UNIT PLANS	
A504	ENLARGED UNIT PLANS	
A505	ENLARGED UNIT PLANS	
A506	ENLARGED UNIT PLANS	
A507	ENLARGED UNIT PLANS	
A508	ENLARGED UNIT PLANS	
A509	ENLARGED UNIT PLANS	
A600	DOOR SCHEDULES AND DETAILS	
A601	WINDOW SCHEDULE AND DETAILS	
A602	WINDOW DETAILS	
A700	ENLARGED KITCHEN PLANS AND ELEVATIONS	
A701	ENLARGED KITCHEN PLANS AND ELEVATIONS	
A702	ENLARGED KITCHEN PLANS AND ELEVATIONS	
A703	ENLARGED KITCHEN PLANS AND ELEVATIONS	
A710	ENLARGED BATH PLANS AND ELEVATIONS	
A711	ENLARGED BATH PLANS AND ELEVATIONS	
A712	ENLARGED BATH PLANS AND ELEVATIONS	
A713	ENLARGED BATH PLANS AND ELEVATIONS	
STRUCTURAL	STRUCTURAL	
S101	FOUNDATION PLAN	
S102	LEVEL 2 FRAMING PLAN	
MECHANICAL	MECHANICAL	
H101	HVAC LEVEL 1 PLAN	
H102	HVAC LEVEL 2 PLAN	
H103	HVAC LEVEL 3 PLAN	
H104	HVAC LEVEL 4 PLAN	
H105	HVAC LEVEL 5 PLAN	
H106	HVAC LEVEL 6 PLAN	
H107	HVAC ROOF PLAN	
H201	HVAC NOTES	
H202	HVAC NOTES & SCHEDULES	
H203	HVAC DETAILS	
ELECTRICAL	ELECTRICAL	
E001	ELECTRICAL PLACEHOLDER	
PLUMBING	PLUMBING	

SHEET NUMBER	DRAWING TITLE	REVISION
P101	UNDERGROUND PLUMBING PLAN	
P102	PLUMBING LEVEL 1 PLAN	
P103	PLUMBING LEVEL 2 PLAN	
P104	PLUMBING LEVEL 3 PLAN	
P105	PLUMBING LEVEL 4 PLAN	
P106	PLUMBING LEVEL 5 PLAN	
P107	PLUMBING LEVEL 6 PLAN	
P201	PLUMBING NOTES	
P202	PLUMBING SCHEDULES	
P203	PLUMBING DETAILS	
P204	PLUMBING DETAILS	
P205	PLUMBING DETAILS	
P206	PLUMBING DETAILS	
FIRE PROTECTION	FIRE PROTECTION	
FP101	FIRE PROTECTION LEVEL 1 PLAN	
FP102	FIRE PROTECTION LEVEL 2 PLAN	
FP103	FIRE PROTECTION LEVEL 3 PLAN	
FP104	FIRE PROTECTION LEVEL 4 PLAN	
FP105	FIRE PROTECTION LEVEL 5 PLAN	
FP106	FIRE PROTECTION LEVEL 6 PLAN	
FP107	FIRE PROTECTION ROOF PLAN	
FP201	FIRE PROTECTION NOTES	
FP202	FIRE PROTECTION DETAILS	

521-523 CAMBRIDGE STREET
BOSTON, MA
ISSUED FOR CONSTRUCTION

REVISIONS
DATE
BY
DATE



DRAWING INFORMATION
DATE: 12/05/2023
PROJECT #: 22021
SCALE: As Indicated

DRAWING TITLE
COVER SHEET

DRAWING NUMBER
A000

PLAN NOTES

1. ALL PARTITION DIMENSIONS ARE MEASURED FROM FACE OF STUD PART TO FACE OF STUD, U.O.N.
2. INTERIOR NON-LOAD BEARING WALLS ARE W/10, U.O.N.
3. ALL CLOSETS TO BE 2'-0" DEEP CLEAR, U.O.N.
4. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION.
5. REFER TO FINISH SCHEDULE FOR ROOM FINISHES.
6. REFER TO OVERALL PLANS FOR LOCATIONS AND ASSEMBLY OF LOAD BEARING WALLS.
7. PROVIDE CLOSET SHELF AND ROD IN ALL CLOSETS, U.O.N.
8. INTERIOR DOORS TO BE MINIMUM 4" FROM WALL/EDGE, OR CENTERED, U.O.N.
9. PROVIDE FIRE RATED CEILING ACCELS PANEL AT ALL FIREH ABUTMENTS. COORDINATE LOCATION WITH ARCHITECT.
10. FLOORING TO EXTEND UNDER KITCHEN CABINETS AND BATH VANITIES.
11. DIMENSIONS LABELED "CLEAR" OR "HOLDY" ARE MEASURED FROM FINISHED FACE TO FINISHED FACE OF PARTITIONS.
12. CLOSET DOORS TO BE CENTERED ON CLOSET INTERIOR, U.O.N.
13. REFER TO A600 DOOR SCHEDULE AND DOOR DETAILS SHEET FOR TYPICAL THRESHOLD DETAILS

— OUTLINE OF BUILDING
ABOVE

521-523 CAMBRIDGE STREET
BOSTON, MA

ISSUED FOR CONSTRUCTION

REVISIONS

NAME	ICLR	DATE
------	------	------



DRAWING INFORMATION

ISSUED FOR CONSTRUCTION

DATE: 12/05/2023

PROJECT # 12021

Calc: $\frac{1}{4} = 1.25$

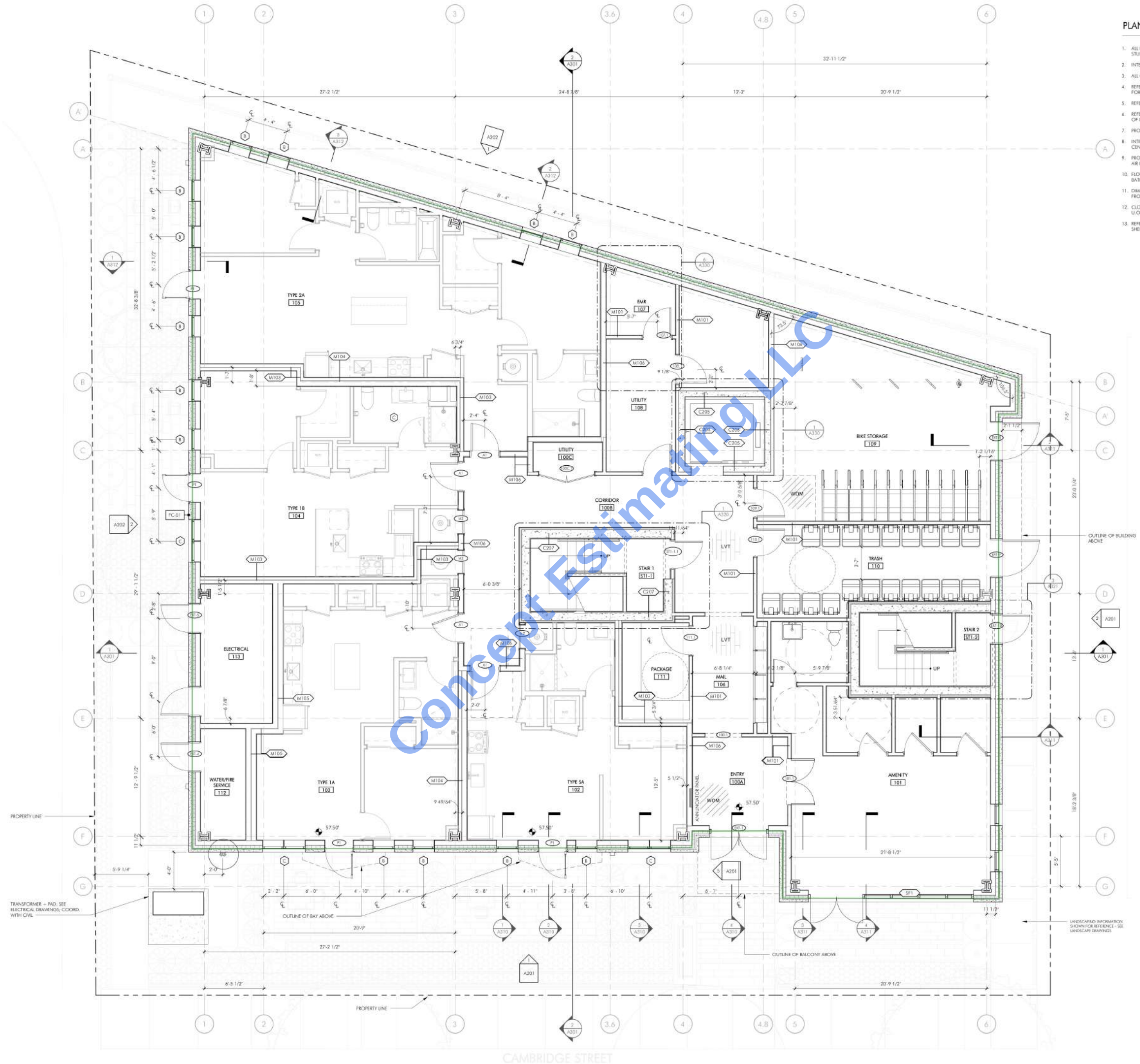
DRAWING TITLE

FLOOR PLAN -
LEVEL 1

DRAWING NUMBER

A101

Energy Fuels 2006, 20, 1025-1032



PLAN NOTES

1. ALL PARTITION DIMENSIONS ARE MEASURED FROM FACE OF STUD TO FACE OF STUD, U.O.N.
2. INTERIOR NON-LOAD BEARING WALLS ARE W210, U.O.N.
3. ALL CLOSETS TO BE 2' OF DEEP CLEAR, U.O.N.
4. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR FLOOR INFORMATION.
5. REFER TO FINISH SCHEDULE FOR ROOM FINISHES.
6. REFER TO OVERALL PLANS FOR LOCATIONS AND ASSEMBLY OF LOAD BEARING WALLS.
7. PROVIDE CLOSET SHELF AND ROD IN ALL CLOSETS, U.O.N.
8. INTERIOR DOORS TO BE MINIMUM 4" FROM WALL EDGE, OR CENTERED, U.O.N.
9. PROVIDE FIRE RATED CEILING ACCESS PANELS AT ALL FRESH AIR INTAKES. COORDINATE LOCATION WITH ARCHITECT.
10. FLOORING TO EXTEND UNDER KITCHEN CABINETS AND BATH VANITIES.
11. DIMENSIONS LABELED "CLEAR" OR "VOID" ARE MEASURED FROM FINISHED FACE TO FINISHED FACE OF PARTITIONS.
12. CLOSET DOORS TO BE CENTERED ON CLOSET INTERIOR, U.O.N.
13. REFER TO ADDD DOOR SCHEDULE AND DOOR DETAILS SHEET FOR TYPICAL THRESHOLD DETAILS.

521-523 CAMBRIDGE STREET
BOSTON, MA

ISSUED FOR CONSTRUCTION

REVISIONS

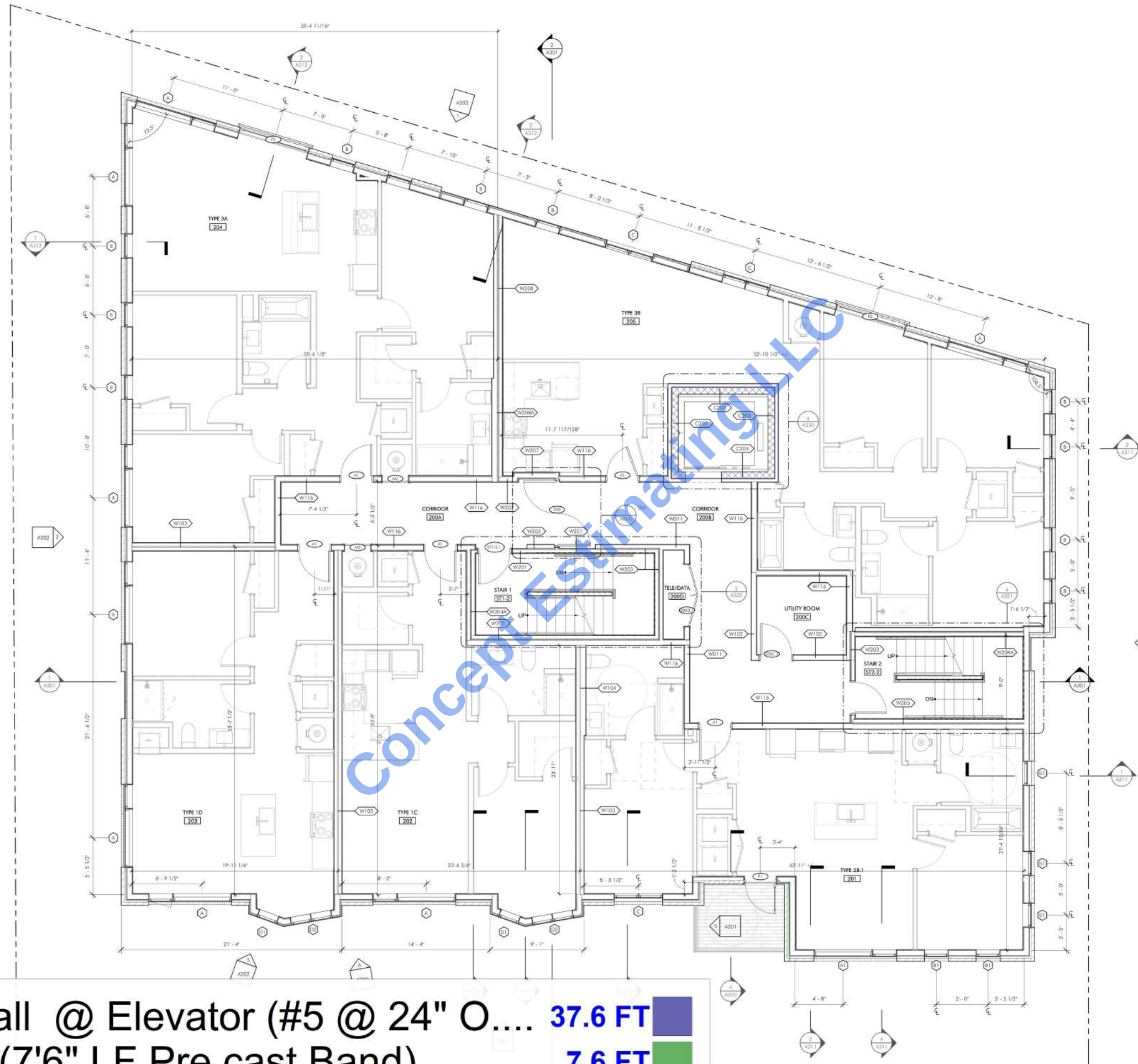


DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	12/05/2023
PROJECT #:	22021
SCALE:	1/4" = 1'-0"

DRAWING TITLE
FLOOR PLAN -
LEVEL 2

DRAWING NUMBER

A102



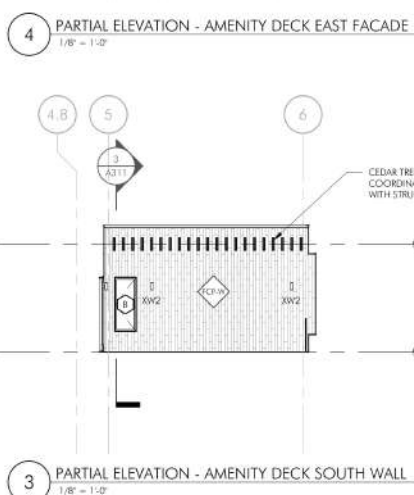
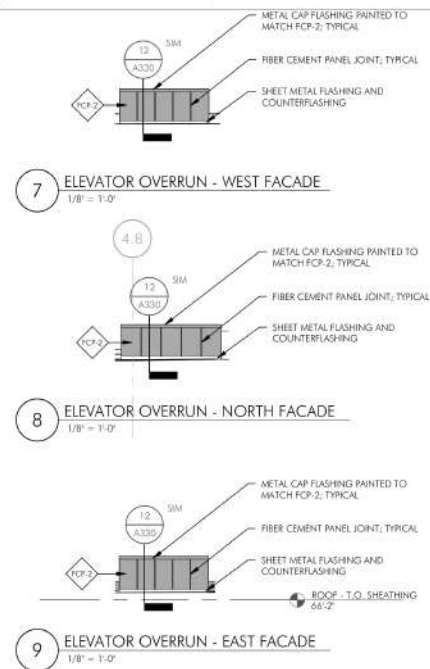
8" CMU Wall @ Elevator (#5 @ 24" O....	37.6 FT	
Blind Spot (7'6" LF Pre cast Band)	7.6 FT	

EXTERIOR MATERIALS LEGEND:

- FCP-1: FIBER CEMENT PANEL
- MANUFACTURER: ALLURA
- COLOR: BLACK
- FCP-2: FIBER CEMENT PANEL
- MANUFACTURER: ALLURA
- COLOR: COLORMAX KNIGHTS ARMOR
- FCP-3: FIBER CEMENT PANEL
- MANUFACTURER: ALLURA
- COLOR: COLORMAX PEWTER
- FCP-W: FIBER CEMENT PLANK
- MANUFACTURER: WOODTONE
- COLOR: MOUNTAIN CEDAR
- MTP: COMPOSITE METAL PANEL
- MANUFACTURER: ALPOUC
- COLOR: BLACK
- BRK-1: BRICK
- COLOR: COPPERSTONE
- MORTAR COLOR: T80
- TEXTURE: MATTE
- CMU-1: GROUND FACE CMU
- MANUFACTURER: JANDIS & SONS
- COLOR: 9312
- MORTAR COLOR: T80
- TEXTURE: SPLIT FACE
- CMU-2: SPLIT FACE CMU
- MANUFACTURER: JANDIS & SONS
- COLOR: W-9312
- MORTAR COLOR: T80
- TEXTURE: SPLIT FACE



BRK-1	3394.8 SQ FT
BRK-1 (Brick Detailing above Or Below Windows) (3/A401)	197.9 SQ FT
Pre Cast Cap-1'0" x 0'4 1/8" Precast Top Course/Band W/ Integral ...	149.6 FT
CMU-2	473.9 SQ FT
CMU-1	247.2 SQ FT
Blind Spot (7'6" LF , H	47.7 FT
CMU 1 Blind Spot (7'6" LF , H	8.0 FT
4" CMU Lintel	66.9 FT



521-523 CAMBRIDGE STREET
BOSTON, MA
ISSUED FOR CONSTRUCTION

REVISIONS

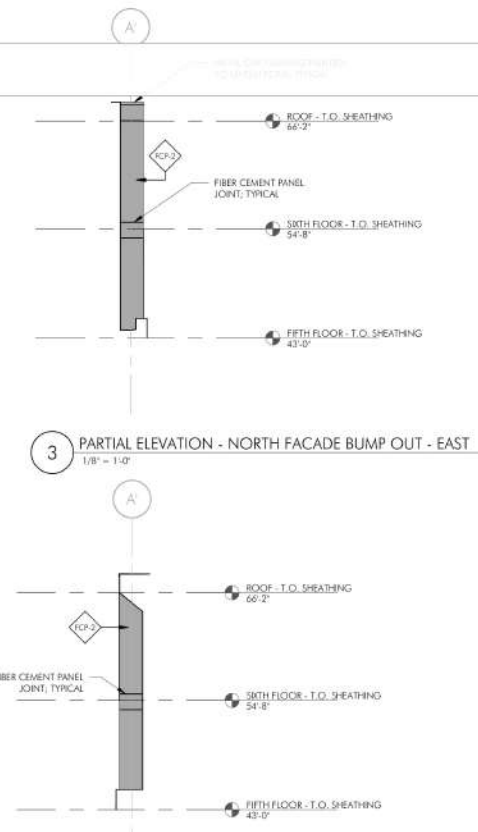


DRAWING INFORMATION
DATE: 12/05/2023
PROJECT #: 22071
SCALE: As indicated

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING NUMBER
A201

1. CMU-1
2. CMU-2
3. Fiber Cement Panel
4. Brick
5. Metal Cap Flashing
6. Metal Cap Flashing
7. Metal Cap Flashing
8. Metal Cap Flashing
9. Metal Cap Flashing
10. Metal Cap Flashing
11. Metal Cap Flashing
12. Metal Cap Flashing
13. Metal Cap Flashing
14. Metal Cap Flashing
15. Metal Cap Flashing
16. Metal Cap Flashing
17. Metal Cap Flashing
18. Metal Cap Flashing
19. Metal Cap Flashing
20. Metal Cap Flashing
21. Metal Cap Flashing
22. Metal Cap Flashing
23. Metal Cap Flashing
24. Metal Cap Flashing
25. Metal Cap Flashing
26. Metal Cap Flashing
27. Metal Cap Flashing
28. Metal Cap Flashing
29. Metal Cap Flashing
30. Metal Cap Flashing
31. Metal Cap Flashing
32. Metal Cap Flashing
33. Metal Cap Flashing
34. Metal Cap Flashing
35. Metal Cap Flashing
36. Metal Cap Flashing
37. Metal Cap Flashing
38. Metal Cap Flashing
39. Metal Cap Flashing
40. Metal Cap Flashing
41. Metal Cap Flashing
42. Metal Cap Flashing
43. Metal Cap Flashing
44. Metal Cap Flashing
45. Metal Cap Flashing
46. Metal Cap Flashing
47. Metal Cap Flashing
48. Metal Cap Flashing
49. Metal Cap Flashing
50. Metal Cap Flashing
51. Metal Cap Flashing
52. Metal Cap Flashing
53. Metal Cap Flashing
54. Metal Cap Flashing
55. Metal Cap Flashing
56. Metal Cap Flashing
57. Metal Cap Flashing
58. Metal Cap Flashing
59. Metal Cap Flashing
60. Metal Cap Flashing
61. Metal Cap Flashing
62. Metal Cap Flashing
63. Metal Cap Flashing
64. Metal Cap Flashing
65. Metal Cap Flashing
66. Metal Cap Flashing
67. Metal Cap Flashing
68. Metal Cap Flashing
69. Metal Cap Flashing
70. Metal Cap Flashing
71. Metal Cap Flashing
72. Metal Cap Flashing
73. Metal Cap Flashing
74. Metal Cap Flashing
75. Metal Cap Flashing
76. Metal Cap Flashing
77. Metal Cap Flashing
78. Metal Cap Flashing
79. Metal Cap Flashing
80. Metal Cap Flashing
81. Metal Cap Flashing
82. Metal Cap Flashing
83. Metal Cap Flashing
84. Metal Cap Flashing
85. Metal Cap Flashing
86. Metal Cap Flashing
87. Metal Cap Flashing
88. Metal Cap Flashing
89. Metal Cap Flashing
90. Metal Cap Flashing
91. Metal Cap Flashing
92. Metal Cap Flashing
93. Metal Cap Flashing
94. Metal Cap Flashing
95. Metal Cap Flashing
96. Metal Cap Flashing
97. Metal Cap Flashing
98. Metal Cap Flashing
99. Metal Cap Flashing
100. Metal Cap Flashing



- EXTERIOR MATERIALS LEGEND:
- FCP-1: FIBER CEMENT PANEL
- MANUFACTURER: ALLURA
- COLOR: BLACK
 - FCP-2: FIBER CEMENT PANEL
- MANUFACTURER: ALLURA
- COLOR: COLOMAX KNIGHTS
- ANKOR
 - FCP-3: FIBER CEMENT PANEL
- MANUFACTURER: ALLURA
- COLOR: COLOMAX KNIGHTS
- ANKOR
 - FCP-W: FIBER CEMENT PLANK
- MANUFACTURER: WOODSTONE
- COLOR: MOUNTAIN CEDAR
 - MTP: COMPOSITE METAL PANEL
- MANUFACTURER: ALPOLIC
- COLOR: BLACK
 - BRG-1: BRICK
- COLOR: COPPERSTONE
- MORTAR COLOR: TBO
- TEXTURE: MATTE
 - CMU-1: GROUND FACE CMU
- MANUFACTURER: JANDRES & SONS
- COLOR: W-9312
- MORTAR COLOR: TBO
- TEXTURE: SPLIT FACE
 - CMU-2: SPLIT FACE CMU
- MANUFACTURER: JANDRES & SONS
- COLOR: W-9312
- MORTAR COLOR: TBO
- TEXTURE: SPLIT FACE

ARCHITECT
EMBARC
580 HARRISON AVE. SUITE 2W
BOSTON, MA 02118
D: 617.765.8000
www.embarcdesign.com

OWNER
FIVE TWENTY ONE FIVE TWENTY
THREE CAMBRIDGE, LLC

CONSULTANTS
CIVIL ENGINEER
LANDSCAPE ENGINEER
MECHANICAL ENGINEER
STRUCTURAL ENGINEER
H+O STRUCTURAL ENGINEER
100 SUMMIT STREET, SUITE 1600
BOSTON, MA 02118
617.938.3349
MEP/FP ENGINEER
ZADE ASSOCIATES LLC
140 BEACH ST
BOSTON, MA 02111
617.338.4436
GEOTECHNICAL ENGINEER
AARDVARK
SOMERVILLE, MA
978.650.2590

521-523 CAMBRIDGE STREET
BOSTON, MA
ISSUED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	12/05/2023	ISSUED FOR CONSTRUCTION

DRAWING INFORMATION
DATE: 12/05/2023
PROJECT #: 22071
SCALE: As indicated

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING NUMBER
A202