

<u>COST SUMMARY</u>	
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Project: Hidden For Privacy
Project Location: Hidden For Privacy

Scope of Work: Roofing

Total Base Bid:	\$ -
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BASE BID /ALTERNATES/ALLOWANCES	TOTAL COSTS
Base bid	\$ -
Note: Click on any of the above text to go to the relevant Tab	

For Client's Use Only

CSI Summary for Base Bid					
Div. No.	CSI Division	Labor Cost	Material Cost	Total Cost	% of sub-total cost
DIV-01	General Requirements	\$ -	\$ -	\$ -	#DIV/0!
DIV-02	Existing conditions	\$ -	\$ -	\$ -	#DIV/0!
DIV-03	Concrete	\$ -	\$ -	\$ -	#DIV/0!
DIV-04	Masonry	\$ -	\$ -	\$ -	#DIV/0!
DIV-05	Metals	\$ -	\$ -	\$ -	#DIV/0!
DIV-06	Wood, Plastics & Composites	\$ -	\$ -	\$ -	#DIV/0!
DIV-07	Thermal & Moisture Protection	\$ -	\$ -	\$ -	#DIV/0!
DIV-08	Openings	\$ -	\$ -	\$ -	#DIV/0!
DIV-09	Finishes	\$ -	\$ -	\$ -	#DIV/0!
DIV-10	Specialties	\$ -	\$ -	\$ -	#DIV/0!
DIV-11	Equipment	\$ -	\$ -	\$ -	#DIV/0!
DIV-12	Furnishings	\$ -	\$ -	\$ -	#DIV/0!
DIV-13	Special Construction	\$ -	\$ -	\$ -	#DIV/0!
DIV-14	Conveying Equipment	\$ -	\$ -	\$ -	#DIV/0!
DIV-21	Fire Suppression	\$ -	\$ -	\$ -	#DIV/0!
DIV-22	Plumbing	\$ -	\$ -	\$ -	#DIV/0!
DIV-23	Heating, Ventilating, & Air conditioning	\$ -	\$ -	\$ -	#DIV/0!
DIV-26	Electrical	\$ -	\$ -	\$ -	#DIV/0!
DIV-27	Communications	\$ -	\$ -	\$ -	#DIV/0!
DIV-28	Electronic Safety & Security	\$ -	\$ -	\$ -	#DIV/0!
DIV-31	Earthwork	\$ -	\$ -	\$ -	#DIV/0!
DIV-32	Exterior Improvements	\$ -	\$ -	\$ -	#DIV/0!
DIV-33	Utilities	\$ -	\$ -	\$ -	#DIV/0!
SUB TOTAL		\$ -	\$ -	\$ -	
MATERIAL TAX			\$ -	\$ -	
OVERHEAD AND PROFIT				\$ -	
OVERHEAD AND PROFIT				\$ -	
BOND FEE				\$ -	
TOTAL BASE BID				\$ -	

[illegible]

ITEM #	REF. SHEET	DETAIL	CSI SECT	DESCRIPTION	QTY.	WASTAGE	QTY WITH WASTAGE	UNIT	UNIT LABOR HOURS	TOTAL LABOR HOURS	PER HOUR LABOR RATE	TOTAL LABOR COST	UNIT MATERIAL COST	TOTAL MATERIAL COST	ITEM COST	TRADE COST
Estimate of Materials and Cost of Construction																
CLICK HERE TO GO BACK TO COST SUMMARY Sub-Total \$ - Material Tax & Inflation 15.0% \$ - (Adjust the percentage for Material tax as required) Overhead & Profit 20% \$ - (Adjust the percentage for Overhead & Profit as required) Contingency 5% \$ - (Adjust the percentage for Contingency as required) Bond Fee 3.5% \$ - (Adjust the percentage for Bond Fee as required) Total Base Bid \$ - Material Wastage 1 0% (for Quantities in Each & LS) Material Wastage 2 10% (for Quantities in LF, SF, SY, CY, LBS, TONS) Note: Contractor can add or Remove Allownces from DIV-1 Tab According to his Requirements Date: Project: Project Location: Project Type: Hidden For Privacy Hidden For Privacy Private/ Public Contractor Name: Company Name: Client Email: Website: Cell: Gross Internal Area of Structure (SF) 23,300																
ITEM #	REF. SHEET	DETAIL	CSI SECT	DESCRIPTION	QTY.	WASTAGE	QTY WITH WASTAGE	UNIT	UNIT LABOR HOURS	TOTAL LABOR HOURS	PER HOUR LABOR RATE	TOTAL LABOR COST	UNIT MATERIAL COST	TOTAL MATERIAL COST	ITEM COST	TRADE COST
			DIV-01	General Requirements												\$ -
				Plan Design and Permitting												
1			DIV-01	Surveying	1	0%	1	LS		-		\$ -				
2			DIV-01	Permit Fee	1	0%	1	LS		-		\$ -				
3			DIV-01	Plan Coordination	1	0%	1	LS		-		\$ -				
4			DIV-01	Roof Inspection	1	0%	1	LS		-		\$ -				
5			DIV-01	Special Inspection	1	0%	1	LS		-		\$ -				
				Utilities & Temporary Facilities												
6			DIV-01	Utilities during construction (Based on interior finish area)	1	0%	1	LS		-		\$ -				
7			DIV-01	Port-a-Potty	1	0%	1	LS		-		\$ -				
8			DIV-01	Temporary Power	1	0%	1	LS		-		\$ -				
9			DIV-01	Temporary Fencing	1	0%	1	LS		-		\$ -				
				Equipment and Tools												
10			DIV-01	Tool Rentals	1	0%	1	LS		-		\$ -				
11			DIV-01	Mobilization/Demobilization (Temporary Control & Facilities)	1	0%	1	LS		-		\$ -				
				Cleaning and Final												
12			DIV-01	Trash	1	0%	1	LS		-		\$ -				
13			DIV-01	Final Cleaning	1	0%	1	LS		-		\$ -				
				Bonds, Insurance, Legal												
14			DIV-01	Casualty Insurance	1	0%	1	LS		-		\$ -				
15			DIV-01	Medical Insurance	1	0%	1	LS		-		\$ -				
16			DIV-01	General Liability Insurance	1	0%	1	LS		-		\$ -				
				Project Management & Supervision												
17			DIV-01	Project Management & Supervision	1	0%	1	LS				\$ -				
			DIV-07	Thermal & Moisture Protection												\$ -
				Roofing												
18	A-102	A-102	DIV-07	Fully-adhered 60 Mil black EPDM membrane	23,266	10%	25,592	SF		-		\$ -		\$ -	\$ -	
19	A-102	A-102	DIV-07	Roof Protection Board A3.14	204	10%	224	SF		-		\$ -		\$ -	\$ -	
20	A-102	A-102	DIV-07	Standing Seam Metal Roof MF: ATAS Description:Dutch Seam, 15" Panels NOTE: Provide Stainless Steel Clips Per Manf Specs	1,701	10%	1,871	SF		-		\$ -		\$ -	\$ -	
				Insulation												
21	A-102	A-102	DIV-07	Tapered Insulation A3.14	204	10%	224	SF		-		\$ -		\$ -	\$ -	
22	A-102	A-102	DIV-07	(2) Layers of 2.6" Polyiso Rigid Insulation (R=30) W/ tapered top layer	23,266	10%	25,593	SF		-		\$ -		\$ -	\$ -	
				Canopy												
23	A-102	A-102	DIV-07	Prefabricated Canopy MFG: Super Lumidek Flat Soffit	87	10%	96	SF		-		\$ -		\$ -	\$ -	

ITEM #	REF. SHEET	DETAIL	CSI SECT	DESCRIPTION	QTY.	WASTAGE	QTY WITH WASTAGE	UNIT	UNIT LABOR HOURS	TOTAL LABOR HOURS	PER HOUR LABOR RATE	TOTAL LABOR COST	UNIT MATERIAL COST	TOTAL MATERIAL COST	ITEM COST	TRADE COST		
24	A-102	A-102	DIV-07	Deck 1" Gauge Roof Decking A3.14	199	10%	219	SF		-		\$ -		\$ -	\$ -			
25	A-102	A-102	DIV-07	Metal Flashing Stainless Steel Metal Wall Flashing	217	10%	239	LF		-		\$ -		\$ -	\$ -			
26	A-102	A-102	DIV-07	2 PC. Metal Gravel stop Fasia	924	10%	1,016	LF		-		\$ -		\$ -	\$ -			
27	A-102	A-102	DIV-07	0.60 Metal Trim Gap Flashing (exterior)	533	10%	586	LF		-		\$ -		\$ -	\$ -			
28	A-102	A-102	DIV-07	Gutter & DownSpouts Internal Gutter (U-Shaped)	50	10%	55	LF		-		\$ -		\$ -	\$ -			
29	A-102	A-102	DIV-07	Downspout	60	10%	66	LF		-		\$ -		\$ -	\$ -			
30	A-102	A-102	DIV-07	Misc Pre-Engineered Cricket System (1/2" per Slope)	1,269	10%	1,396	LF		-		\$ -		\$ -	\$ -			
31	A-102	A-102	DIV-07	Pre-engineered Cant Strip	741	10%	815	LF		-		\$ -		\$ -	\$ -			
32	A-102	A-102	DIV-07	Walking Pads Walking Pads To Access Serviceable Sides Of Rooftop Equipment	1,148	10%	1,263	SF		-		\$ -		\$ -	\$ -			
33	A-102	A-102	DIV-07	Walking Pad At Roof Hatch Walk Off	10	10%	11	SF		-		\$ -		\$ -	\$ -			
SUB TOTAL									Total Lab. Hours = \$		-	Total Lab. Cost = \$		-	Total Mat. Cost = \$		-	\$

Concept Estimating LLC

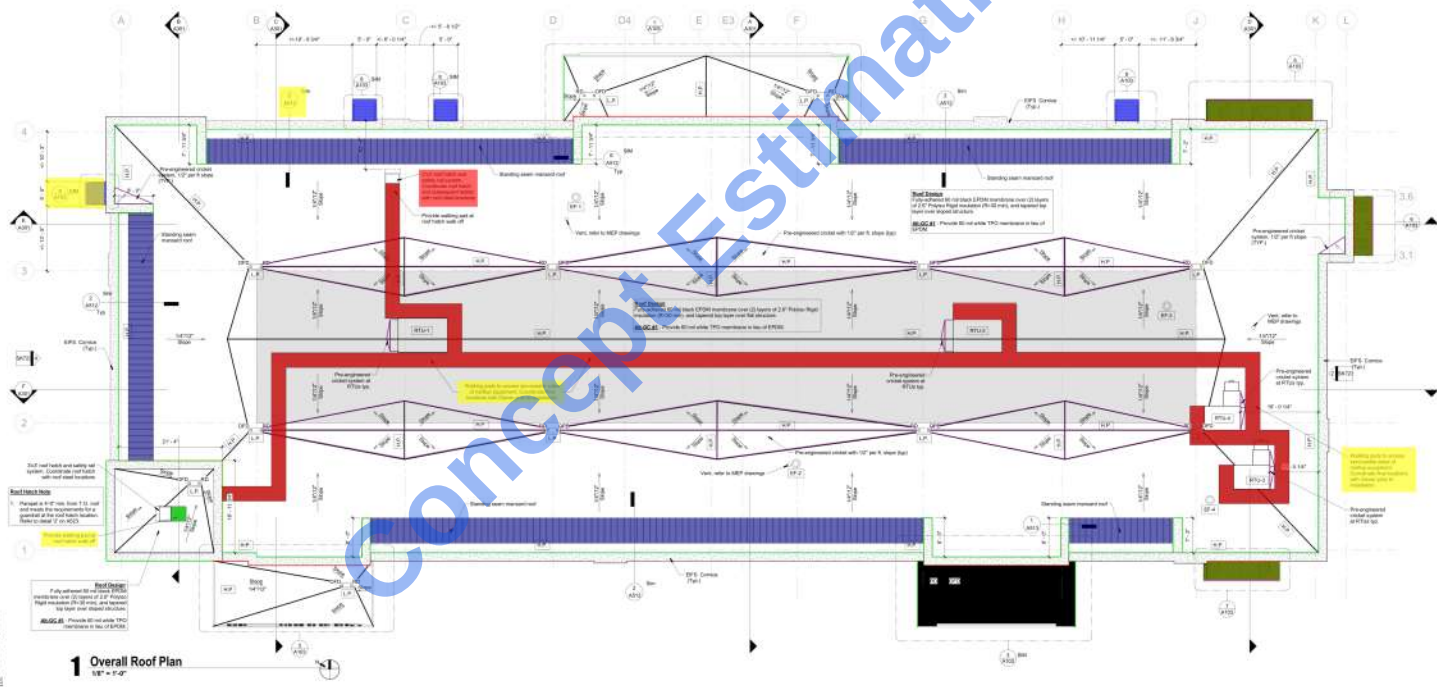
Stainless Steel Metal Wall Flashing	216.2 FT
2 PC. Metal Gravel stop Asia	923.5 FT
Prefabricated Canopy MFG: Super Lumidek Flat Soffit	86.9 SQ FT
Internal Gutter (U-Shaped)	49.3 FT
Roof Protection Board A3.14	203.8 SQ FT
Tapered Insulation A3.14	203.8 SQ FT
1" Gauge Roof Decking A3.14	198.0 SQ FT
Standing Seam Metal Roof MFG: ATAS	1701.2 SQ FT
Pre-Engineered Cricket System (1/2" per Slope)	1268.4 FT
Walking Pads To Access Serviceable Sides Of Rooftop ...	1148.0 SQ FT
Walking Pad At Roof Hatch Walk Off	9.3 SQ FT



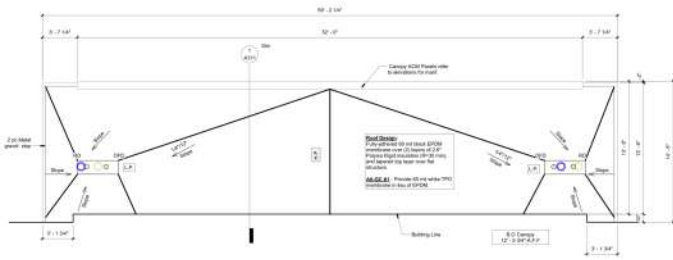
2 Tower Access Plan
1/8" = 1'-0"



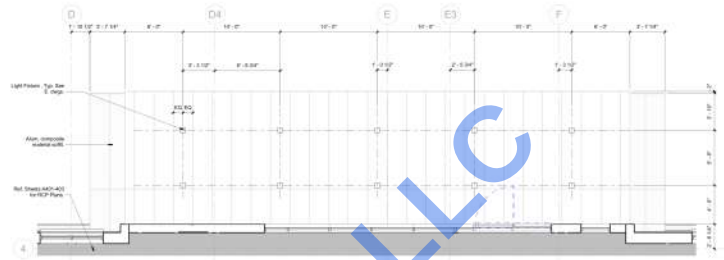
3 Tower Access Plan
1/8" = 1'-0"



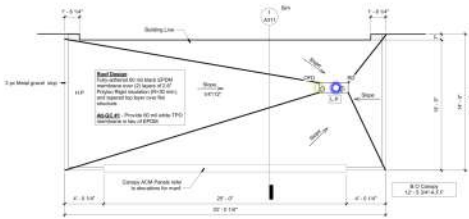
1 Overall Roof Plan
1/8" = 1'-0"



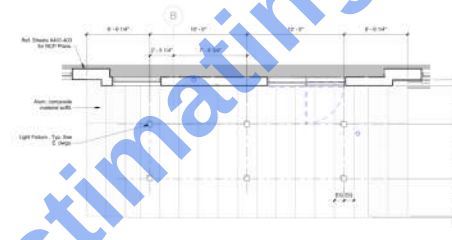
1 Canopy Plan - Health Center Entrance
1/4" = 1'-0"



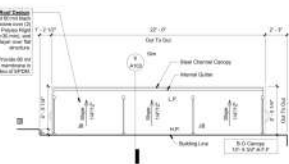
2 RCP - Health Care Canopy Entrance
1/4" = 1'-0"



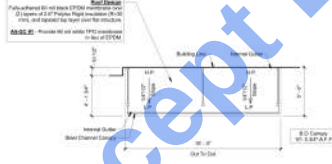
3 Canopy Plan - Physical Therapy Entrance
1/4" = 1'-0"
CareNow Entrance Opp. Hand



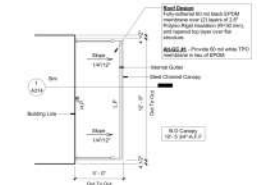
4 RCP - PT & CareNow Canopy Entrance
1/4" = 1'-0"



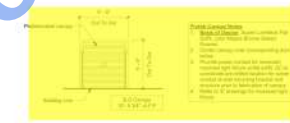
5 Canopy Plan - Starbucks Entrance
1/4" = 1'-0"



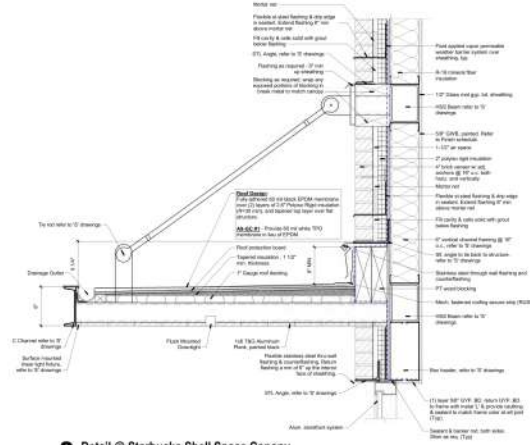
7 Canopy Plan - Starbucks Back Of House
1/4" = 1'-0"



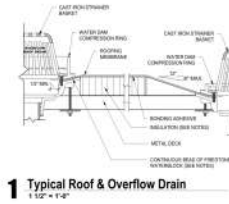
6 Canopy Plan - Drive-Thru
1/4" = 1'-0"



8 Canopy Plan - Typ. Prefab Canopy
1/4" = 1'-0"

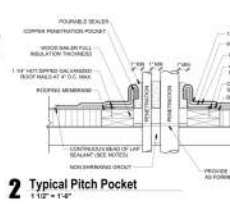


9 Detail @ Starbucks Shell Space Canopy
1 1/2" = 1'-0"



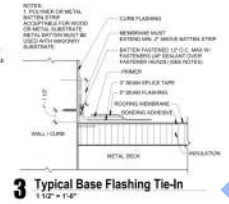
1 Typical Roof & Overflow Drain
1 1/2" x 1'-4"

NOTES:
1. ROOFING MEMBRANE SHALL EXTEND A MIN. OF 12" BEYOND LAMPING PIPES & SHALL NOT BE INSULATED FROM THE DRAINAGE OF THE LAMPING PIPES.
2. INSULATION ADJACENT TO DRAIN TO BE APPROPRIATE INSULATION WITH MINIMUM R-VALUE OF 10.
3. ROOFING MEMBRANE SHALL BE 12" OR 18" LAMPING PIPES. USE ADDITIONAL MATERIALS FOR LANDSCAPING.
4. ROOFING MEMBRANE SHALL BE 12" OR 18" LAMPING PIPES. USE ADDITIONAL MATERIALS FOR LANDSCAPING.
5. ROOFING MEMBRANE SHALL BE 12" OR 18" LAMPING PIPES. USE ADDITIONAL MATERIALS FOR LANDSCAPING.

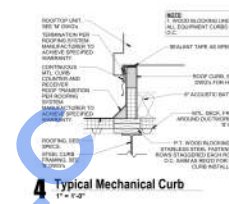


2 Typical Pitch Pocket
1 1/2" x 1'-4"

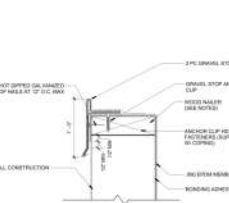
NOTES:
1. PITCH POCKET SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PITCH POCKET SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PITCH POCKET SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.
2. PITCH POCKET SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PITCH POCKET SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PITCH POCKET SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.
3. PITCH POCKET SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PITCH POCKET SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PITCH POCKET SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.



3 Typical Base Flashing Tie-In
1 1/2" x 1'-4"

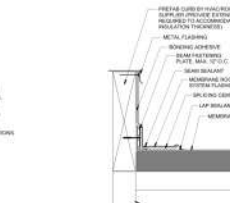


4 Typical Mechanical Curb
1 1/2" x 1'-4"



5 Typical Gravel Stop
1 1/2" x 1'-4"

NOTES:
1. GRAVEL STOP SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. GRAVEL STOP SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. GRAVEL STOP SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.
2. GRAVEL STOP SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. GRAVEL STOP SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. GRAVEL STOP SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.



6 Typical Curb Flashing
1 1/2" x 1'-4"

NOTES:
1. CURB FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. CURB FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. CURB FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.
2. CURB FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. CURB FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. CURB FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.



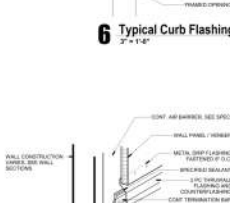
7 Typical Plumbing Vent Flashing
1 1/2" x 1'-4"

NOTES:
1. PLUMBING VENT FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PLUMBING VENT FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PLUMBING VENT FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.
2. PLUMBING VENT FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PLUMBING VENT FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PLUMBING VENT FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.



8 Typical Roof Drain Assembly
1 1/2" x 1'-4"

NOTES:
1. ROOF DRAIN SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. ROOF DRAIN SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. ROOF DRAIN SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.
2. ROOF DRAIN SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. ROOF DRAIN SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. ROOF DRAIN SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.

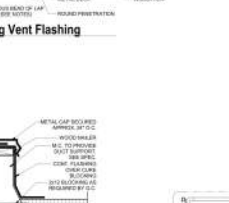


9 Typical Wall Flashing
1 1/2" x 1'-4"

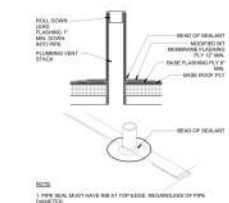
NOTES:
1. WALL FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. WALL FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. WALL FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.
2. WALL FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. WALL FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. WALL FLASHING SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.



10 Typical Mechanical Flue
1 1/2" x 1'-4"

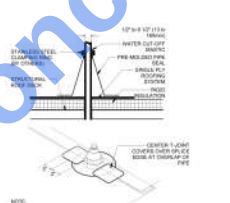


11 Typical Duct Support Curb
1 1/2" x 1'-4"



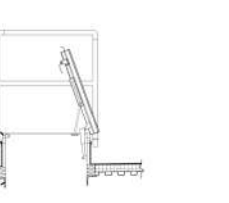
12 Typical Pipe Seal
1 1/2" x 1'-4"

NOTES:
1. PIPE SEAL SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PIPE SEAL SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PIPE SEAL SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.
2. PIPE SEAL SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PIPE SEAL SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PIPE SEAL SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.

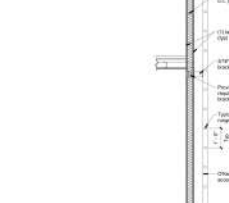


13 Typical Pipe VTR
1 1/2" x 1'-4"

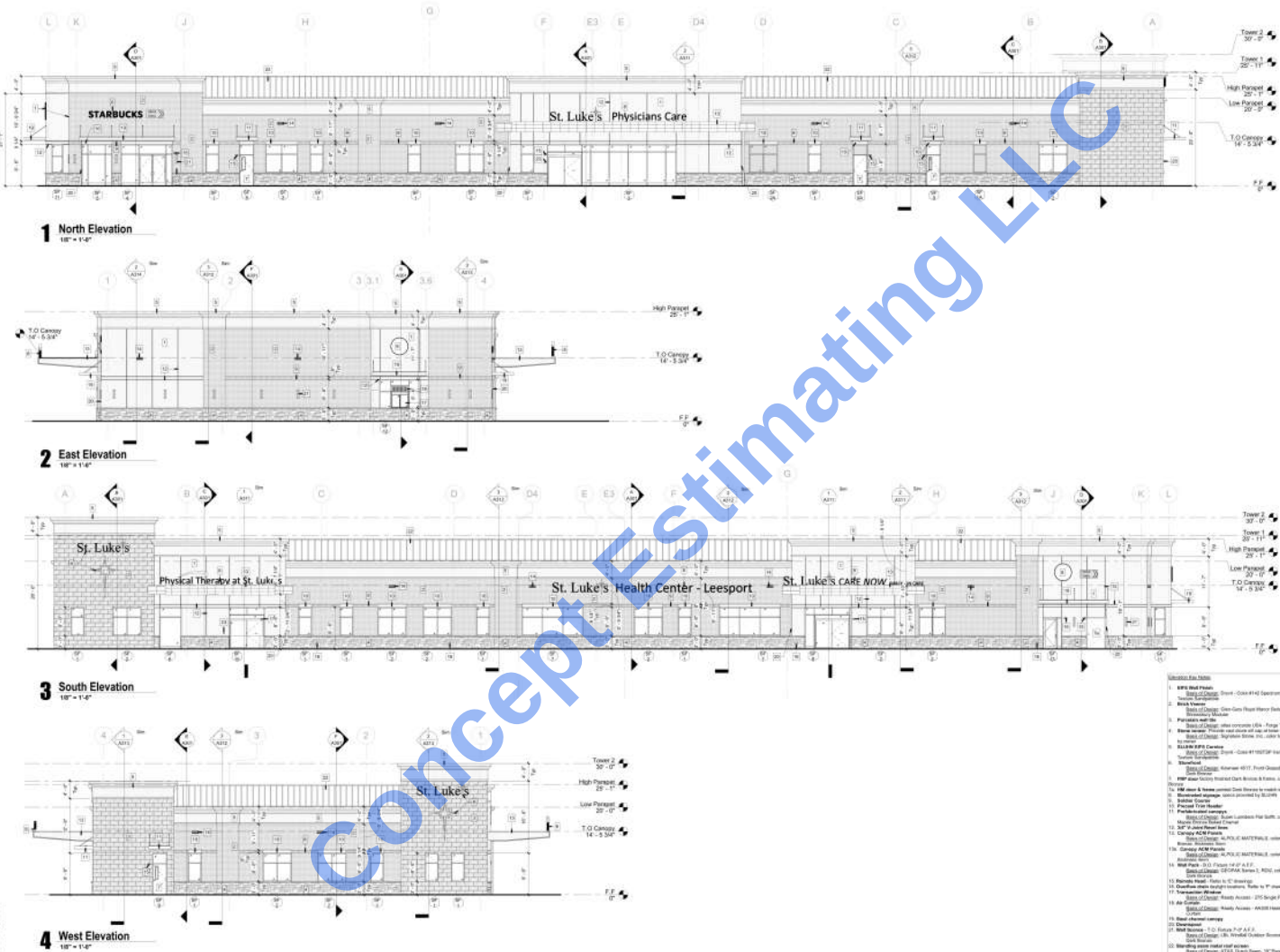
NOTES:
1. PIPE VTR SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PIPE VTR SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PIPE VTR SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.
2. PIPE VTR SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PIPE VTR SHALL BE LOCATED TO DRAIN TO THE EXTERIOR. PIPE VTR SHALL BE LOCATED TO DRAIN TO THE EXTERIOR.



14 Roof Hatch Detail
3/4" x 1'-0"



15 Detail Section - Roof Ladder
1 1/2" x 1'-4"



MKSD, LLC
1200 Mountain Road, Suite 4
Leesport, PA 17033
610.565.2200 phone
mkd@mkd.com web



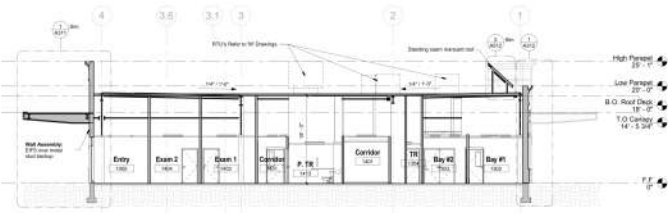
St. Luke's University Health Network
Leesport MOB
Route 61 & Cherry Street
Ontonagon Township, Berks County, PA

07.11.23 ISSUED FOR PERMIT

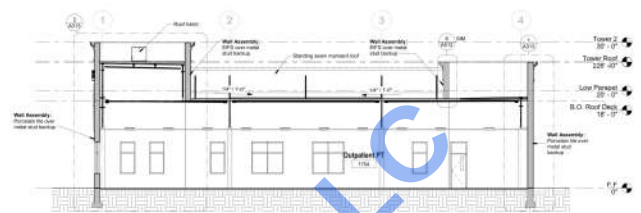
NO.	DATE	DESCRIPTION
1	07.11.23	ISSUED FOR PERMIT

PROJECT NUMBER: 22-147
DRAWN BY: JPM/MSA
DATE: 07.11.23
PROJECT NAME: Exterior Building Elevations

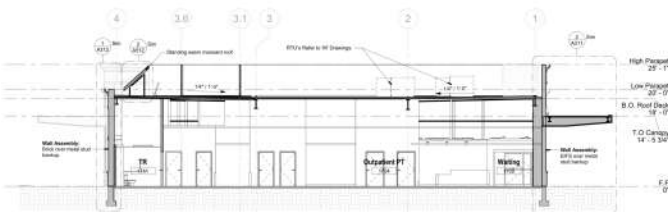
07.11.23



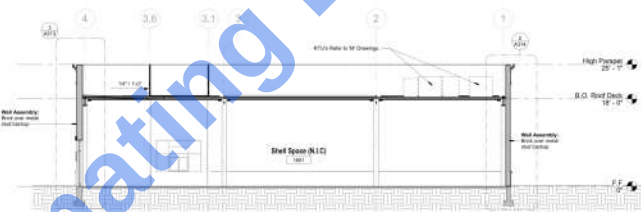
A Building Section - A
1/8" = 1'-0"



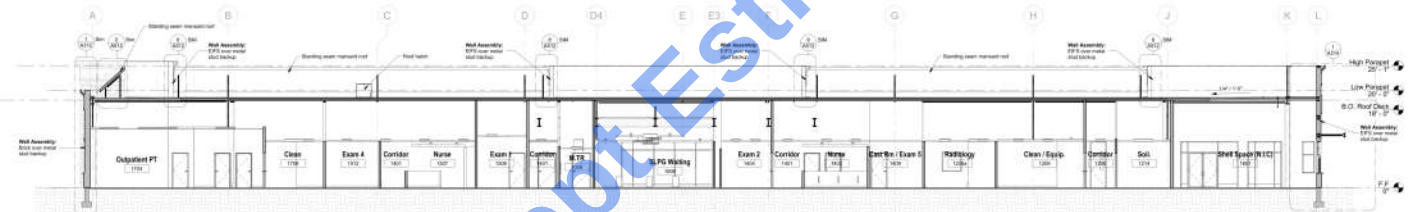
B Building Section - B
1/8" = 1'-0"



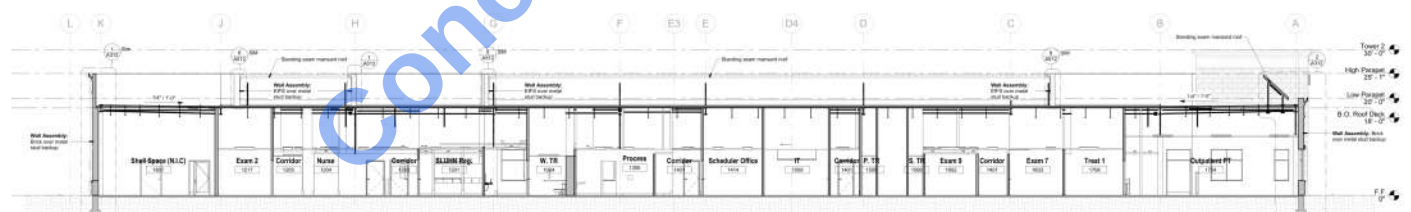
C Building Section - C
1/8" = 1'-0"



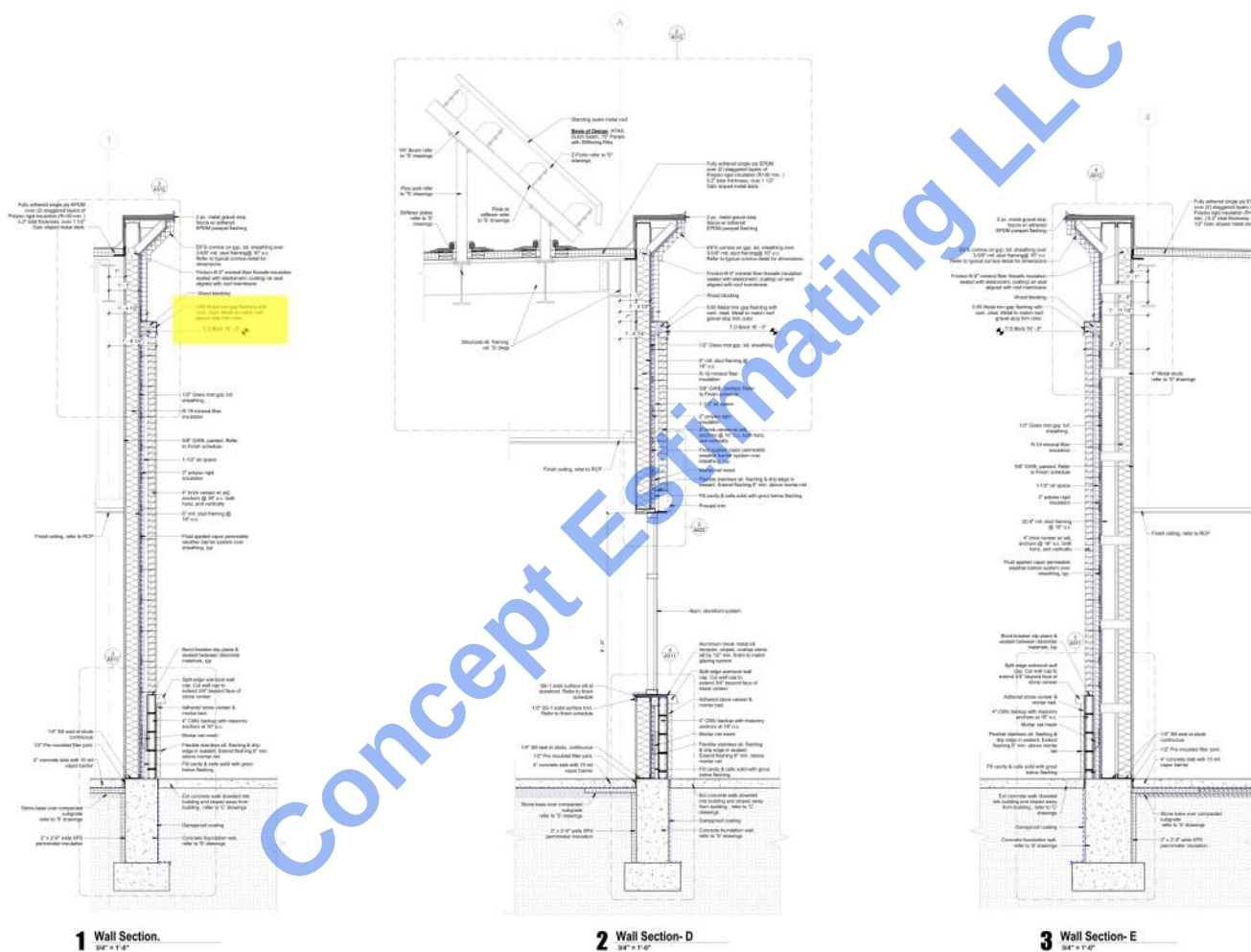
D Building Section - D
1/8" = 1'-0"



E Building Section - E
1/8" = 1'-0"

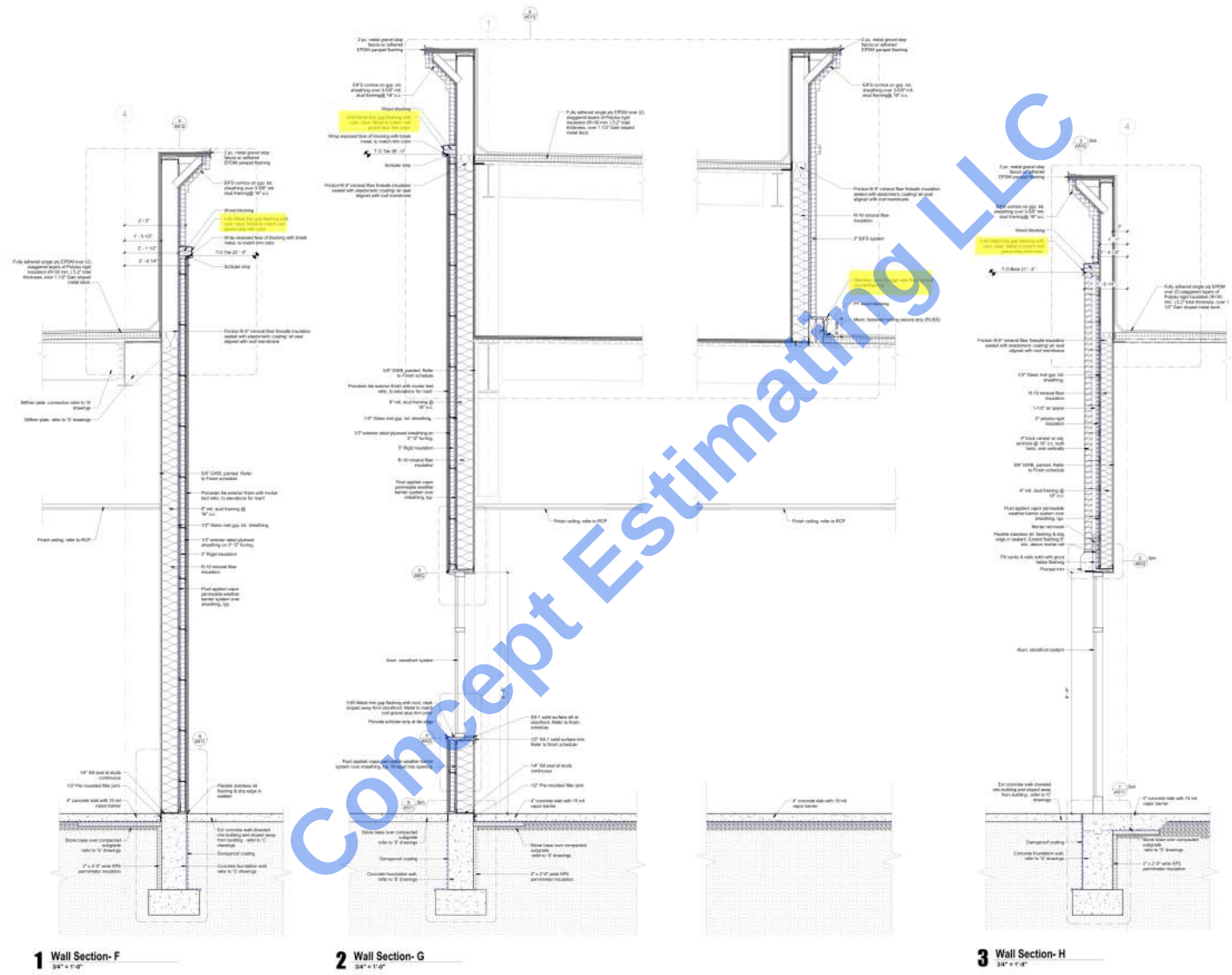


F Building Section - F
1/8" = 1'-0"

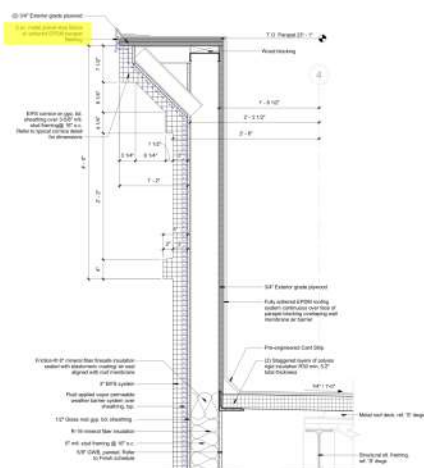


NO.	DATE	DESCRIPTION
1	07.11.23	ISSUED FOR PERMIT

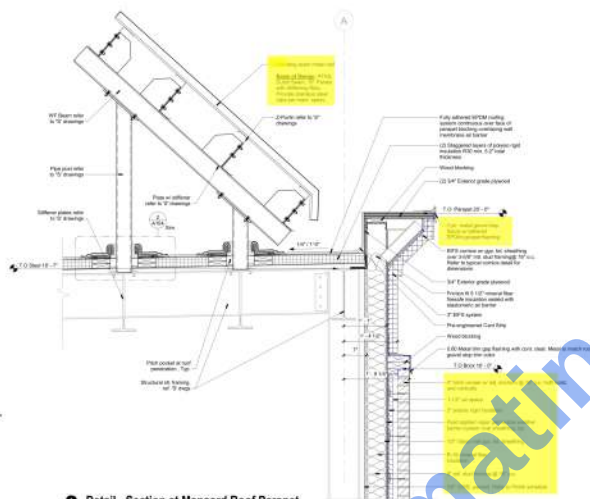
PROJECT NUMBER	23-147
DRAWN BY	JPM/MSA
SCALE	3/4" = 1'-0"
DATE	07.11.23
PROJECT NAME	



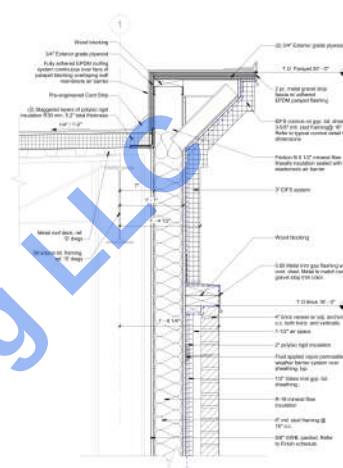




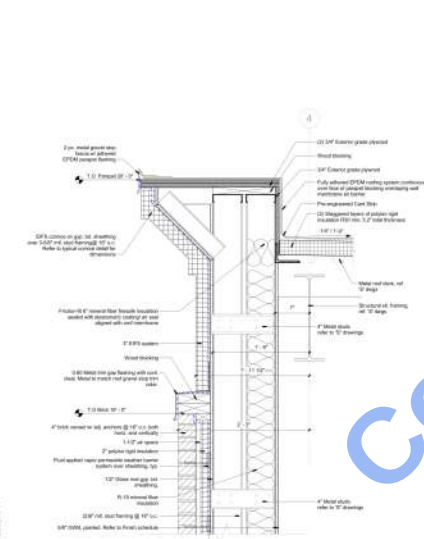
1 Detail - Section at Cornice (Typ.)
1/2" = 1'-0"



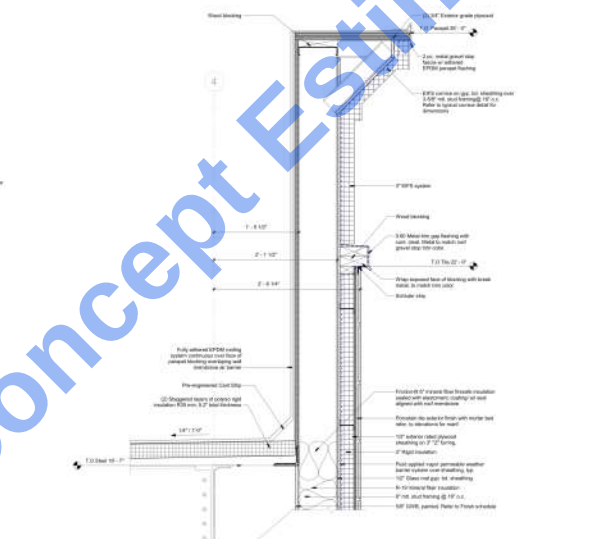
2 Detail - Section at Mansard Roof Parapet



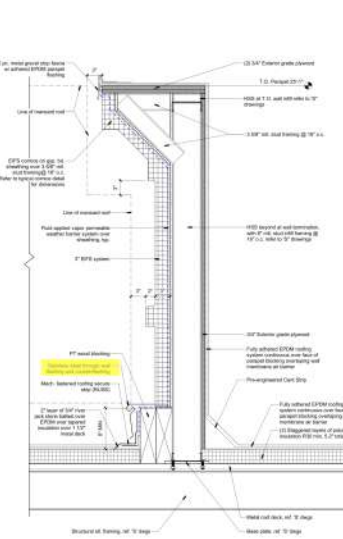
3 Detail - Section at Brick Veneer Parapet



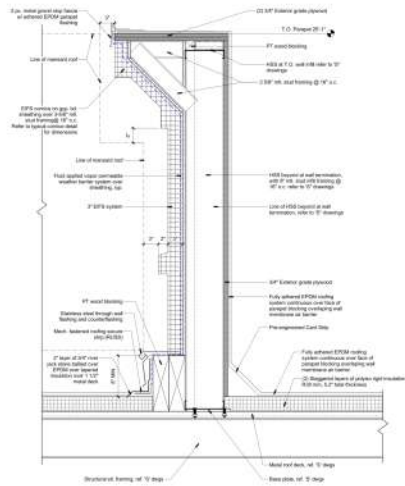
4 Detail - Section at Pilaster Parapet



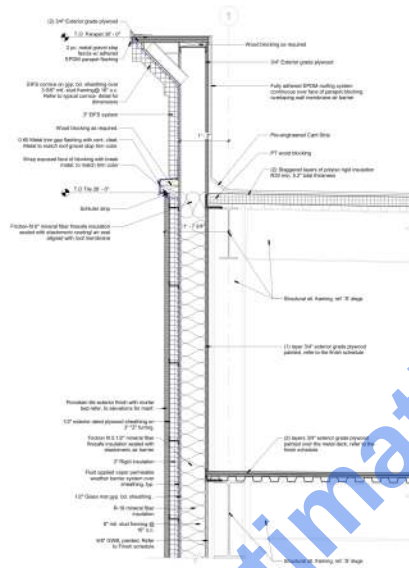
5 Detail - Section at Porcelain Tile Parapet - A



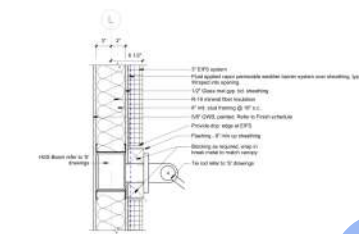
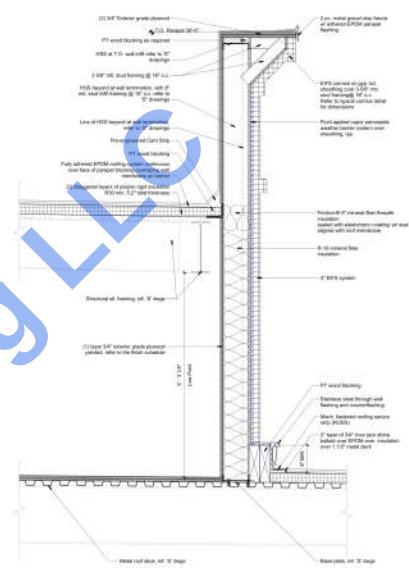
6 Detail - Section at Typical Roof Parapet Return



1 Detail - Section at Roof Parapet Return 8" Metal Studs
1/2" = 1'-0"



2 Detail - Section at Porcelain Tile Parapet - B
1/2" = 1'-0"



3 Detail - Section at EIFS Canopy Connection
1/2" = 1'-0"

No.	Date	Description
1	07.11.23	Issued for Permit